

Proposals for 61–69 Broadwick Street and 46 Marshall Street

Shaftesbury Capital is pleased to share our vision for 61–69 Broadwick Street and 46 Marshall Street, bringing forward sensitive, retrofit-led proposals that combine four existing retail units with an underutilised rear building to create a high-quality, flagship retail-led destination in the heart of Soho.

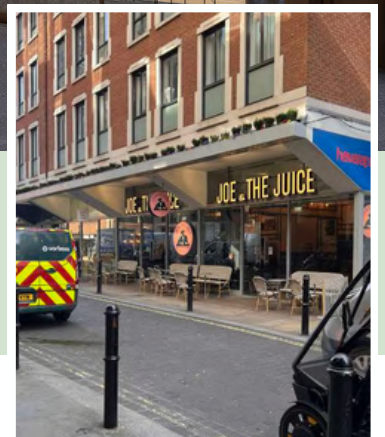
A key element of the scheme is the merging of four existing ground-floor retail units on Broadwick Street into one high-quality space, extending this to connect with 46 Marshall Street to the rear. This will create a larger flagship space with frontage to Broadwick Street.

The proposals retain the majority of the existing building fabric, supporting Westminster City Council's sustainability objectives while bringing an underused building back into active use.

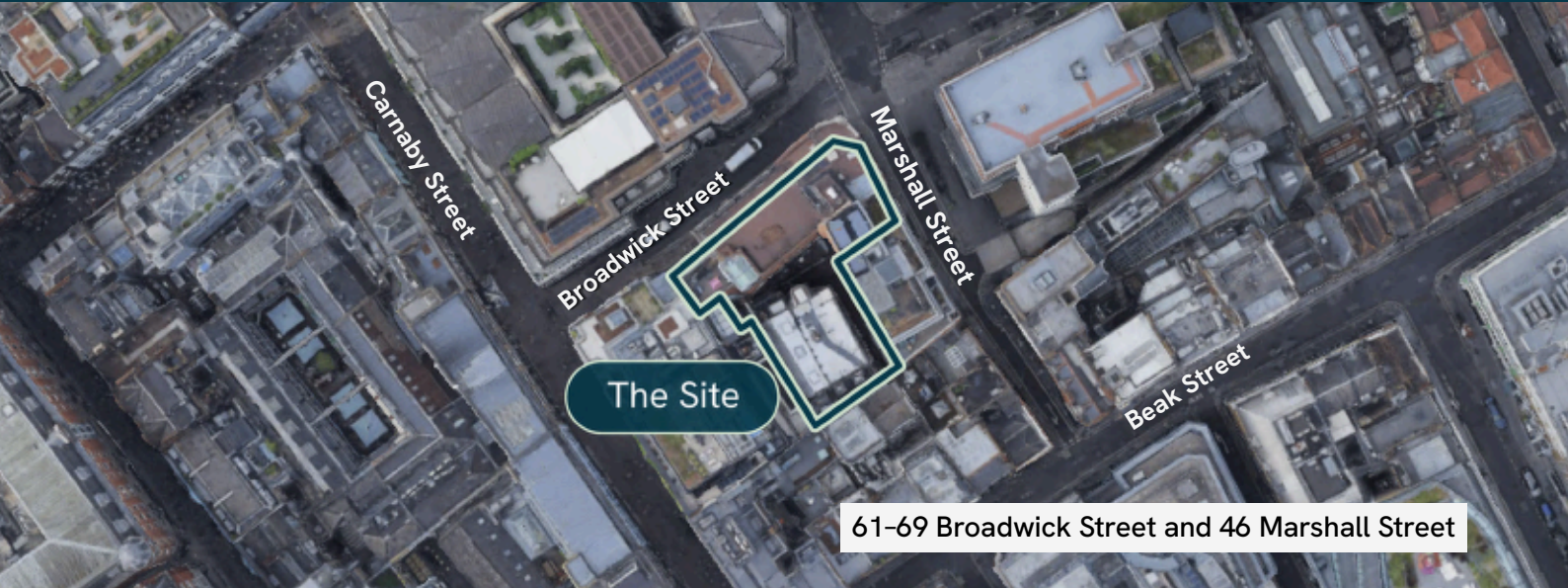
65 Broadwick Street - Indicative View of Proposed Shopfront



The ambition is to secure a long-term, sustainable future for the site, enhancing Soho's vibrancy through modern retail-led and complementary uses that respect the area's historic character while being a considerate neighbour to surrounding residents and businesses.



The Site



The proposals cover 61–69 Broadwick Street and 46 Marshall Street. The site comprises four active ground floor retail units along Broadwick Street and an underutilised building to the rear, alongside areas of poor-quality servicing and back-of-house space.

At 61–69 Broadwick Street, the proposals consolidate the existing ground floor units into a single retail space, with the removal of internal dividing walls and the rear wall to enable a more open and efficient ground floor layout. This allows the creation of a high-quality retail unit with clearer entrances and improved shopfronts, strengthening the street-level experience.

A new rearward extension and link connects this consolidated Broadwick Street space to 46 Marshall Street, improving permeability across the site and enabling the two parts of the building to function as a single, integrated retail destination.

At 46 Marshall Street, the building has remained vacant following the relocation of the previous owner-occupier Samaritans to a new, purpose-built facility elsewhere in the borough. While the building has served its previous use well, its fabric and configuration are no longer well-suited to the needs of modern occupiers or contemporary sustainability standards.

This presents a clear opportunity to sensitively refurbish and bring the building back into productive use. The proposals adopt a retrofit-first approach, retaining and enhancing the majority of the existing structure while introducing carefully considered interventions to ensure the building can meet the needs of modern occupiers and support long-term sustainable use.

As part of these improvements, a new green roof will be introduced, and the plant currently located at roof level will be relocated to a lower, sunken deck at first-floor level to the rear to reduce visual and amenity impacts on neighbouring properties.

The scheme will replace the current fragmented and poor-quality back-of-house arrangement with a more coherent and higher-quality design that better supports the operation of the site and reflects the character of Soho.

Our Approach

* Leading a retrofit-first approach in Westminster

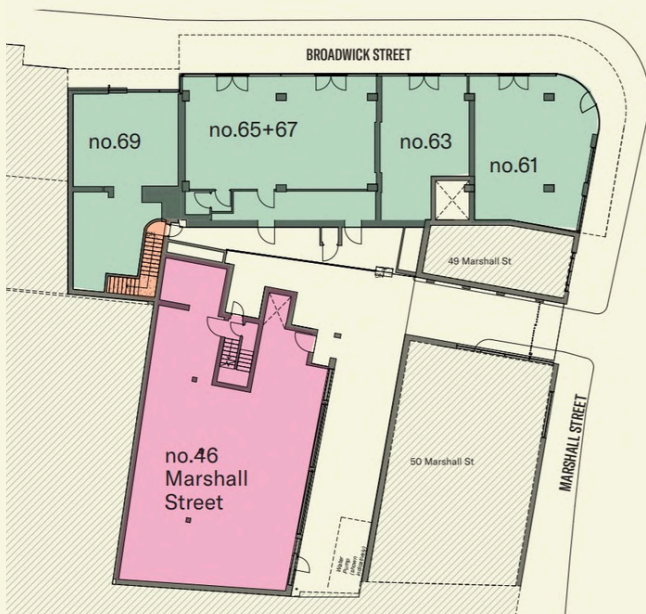
A central principle of the scheme is reuse and adaptation. By retaining a substantial proportion of the existing structure and incorporating a carefully designed extension, the proposals significantly reduce embodied carbon compared to full redevelopment. Upgraded façades, improved building systems and the introduction of a green roof will enhance environmental performance.

* A high-quality retail destination for Soho

By consolidating ground floor units, the scheme will deliver a flagship, retail-led space designed for a single occupier, with improved shopfronts, clearer entrances and an enhanced pedestrian experience. The space is intended to support modern retail-led and complementary uses, helping to sustain Soho's dynamic character.

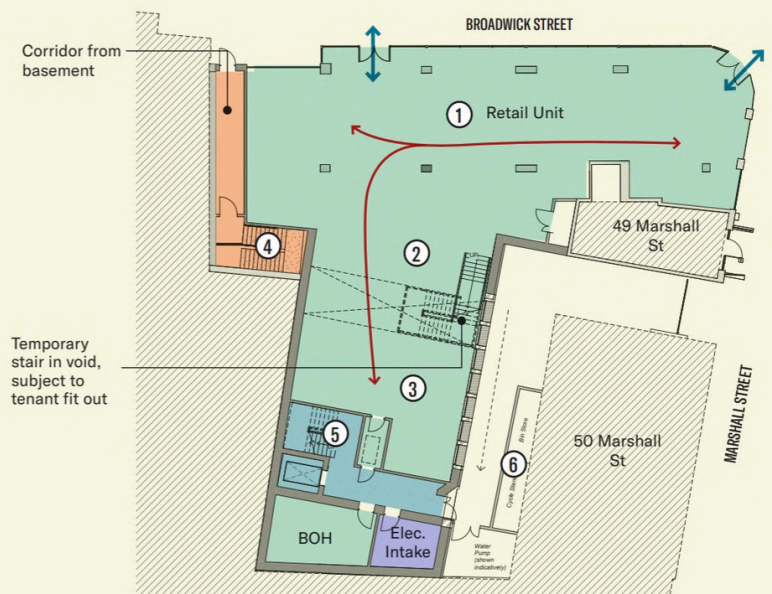
Existing Ground Floor Plan

- Retail
- Suis Generis
- Fire Escape Route



Proposed Ground Floor Layout

- Retail
- Core
- Plant
- Fire Escape Route



Our Approach

* A sensitive, Soho-specific response

The proposals have been carefully developed to sit within the site's historic Soho context. The design responds to the scale and materiality of Broadwick Street and Marshall Street, ensuring the building integrates sensitively with its surroundings while improving the overall quality of the streetscape.

* Bringing a vacant building back into use

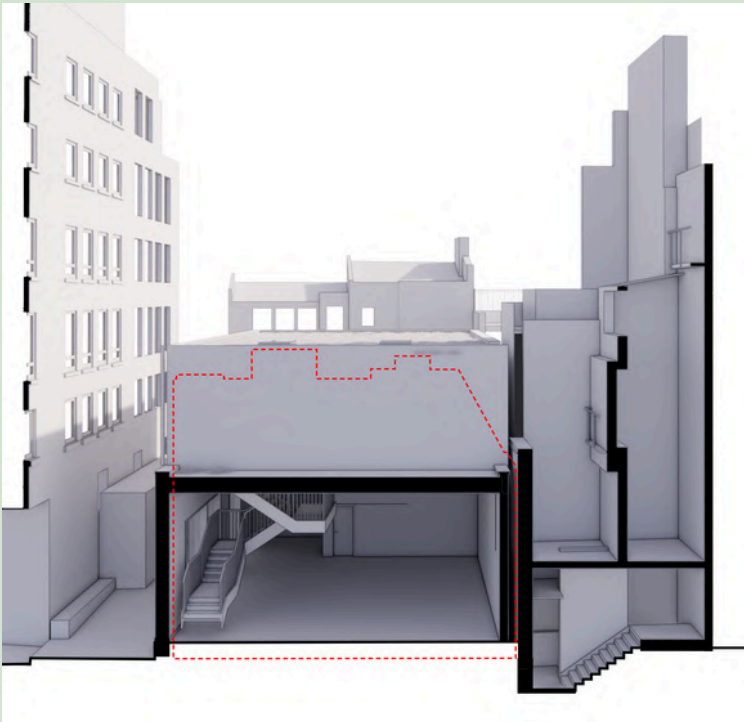
The proposals will reactivate 46 Marshall Street, transforming a vacant building into a productive part of the Soho economy. A carefully designed extension will support improved upper floor layouts including potential office space. Improvements to Marshall Yard, along with streamlined servicing and plant, will enhance the experience for surrounding residents and occupiers.



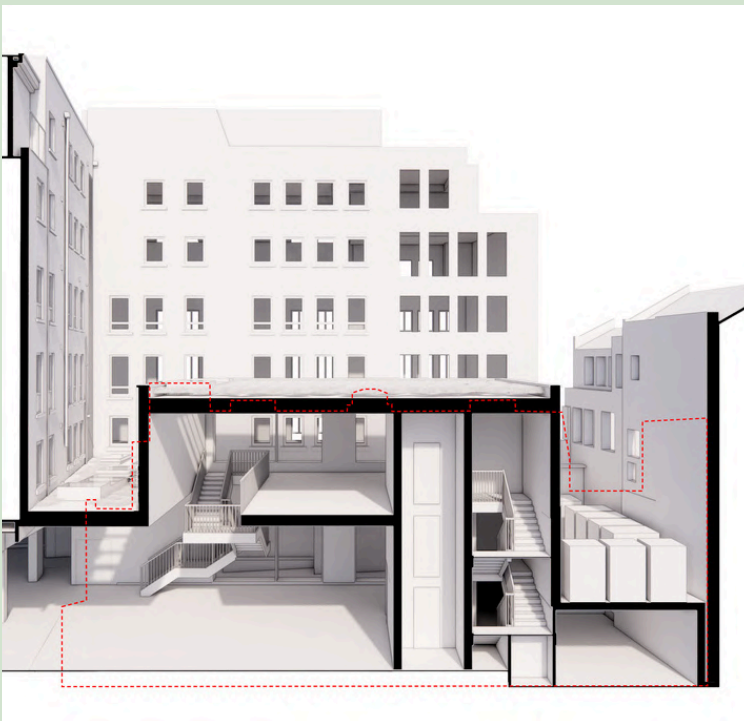
Proposed East Elevation of 46 Marshall Street-From Marshall Yard



Our Approach



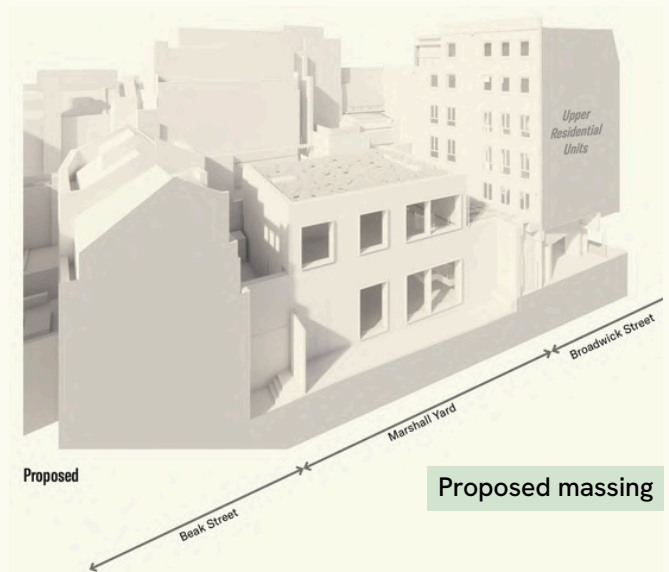
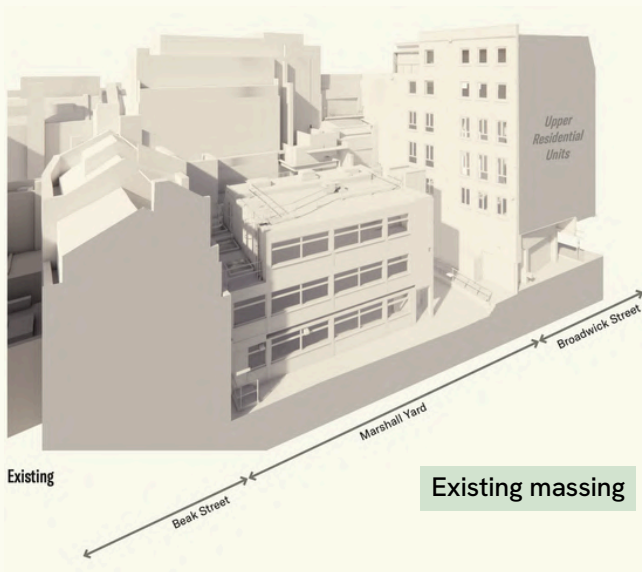
Indicative cross-section
image of proposals. Existing
site in red outline.



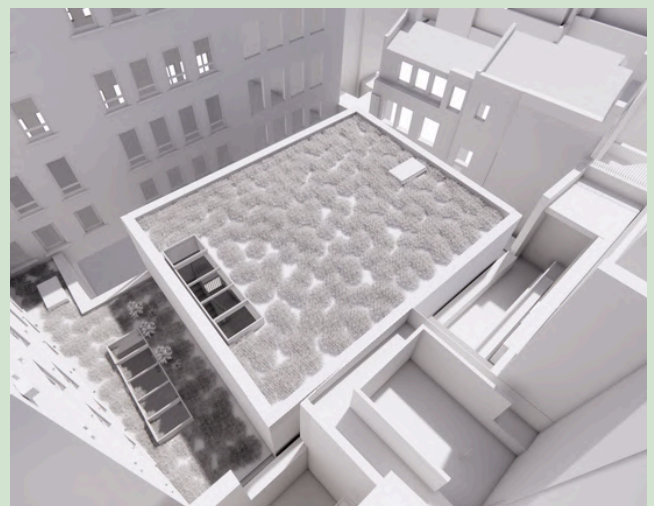
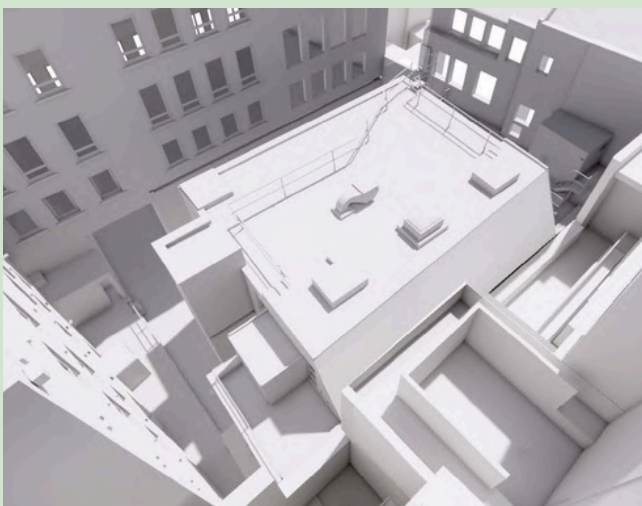
Indicative cross-section
image of proposals. Existing
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Our Approach - 46 Marshall Street

46 Marshall Street - Massing Comparison



46 Marshall Street - Proposed Green Roof



A Considerate Neighbour

A strong emphasis has been placed on ensuring the proposals respond sensitively to surrounding residential and commercial properties.

The design has been developed to minimise impacts on daylight, privacy and overlooking, while improving the organisation and appearance of back-of-house areas. Servicing, plant and operational arrangements have been carefully considered, including reducing visual clutter and improving the quality of Marshall Yard.

Residents overlooking Marshall Yard will benefit from enhanced views across new and improved green roofs, alongside renewed planting integrated along the shopfront frontages. Improvements to the Broadwick Street frontage will be subtle, including refinements to shopfronts and a reduction in size of two customer entrances.

Enhancements to the rear façades will not be widely visible from the public highway but will improve the outlook and environment within the courtyard for surrounding residents and office occupiers. The existing office windows in Marshall Yard that face neighbouring properties on Broadwick Street will be removed.

A robust and well-managed construction approach will be developed alongside the design. This will include careful logistics planning, controlled delivery times and measures to minimise noise, dust and disruption, ensuring the project is delivered responsibly within a constrained Soho environment.

* Next Steps

Shaftesbury Capital is committed to being a considerate custodian of 61–69 Broadwick Street and 46 Marshall Street and will continue to engage openly with residents, businesses, amenity groups and local stakeholders as the proposals evolve.

This early engagement forms an important part of shaping the final design and ensuring the scheme responds appropriately to local context and feedback. We are in the process of developing our plans and would welcome your feedback ahead of our planning application submission to Westminster City Council.

* Consultation event

Thursday 2 July From 4pm-7pm

36 Great Marlborough Street
Carnaby, W1F 7JF

If you have any questions, would like further information, please get in touch with the project team at:

✉ feedback@carnabysohoconsultation.co.uk

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